

Page 2 Footing wall and roof frame

Page 3 Electrical

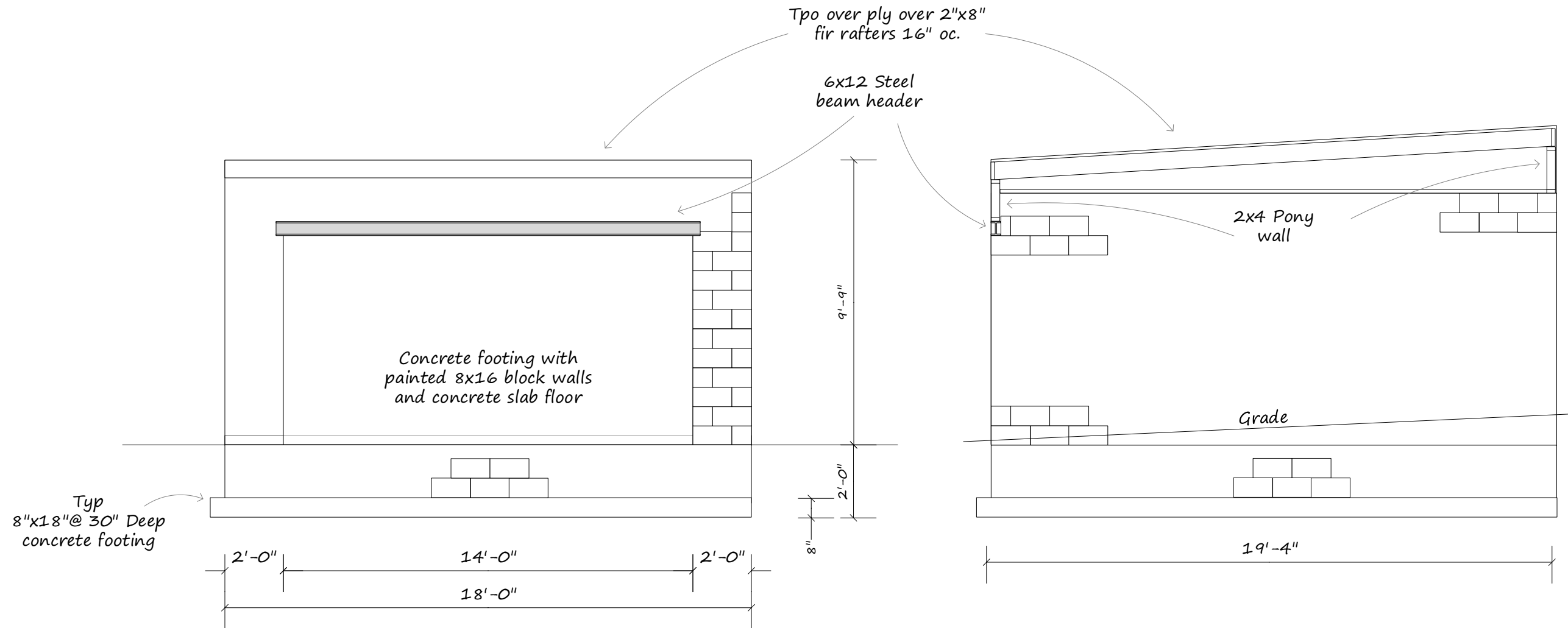
Page 4 Single car garage standard dimensions

Page 5 Site pictures

Page 6 Garage door header calc and building permit application page

Page 7 Property plat

Page 8 Sub division plat



Fix over span rafters by adding sisters

Engineer to certify plans

Zoning variance appeal for lot coverage

804 and 803 are tax lots and needs subdivision for building lot designation ?

Van Buskirk

B1801650

DDOT 205490

Code 2012 IRC

11/10/2017

1/9/2017

6/4/2018

445 15th Street SE,
Washington DC 20003
Board of Zoning Adjustment

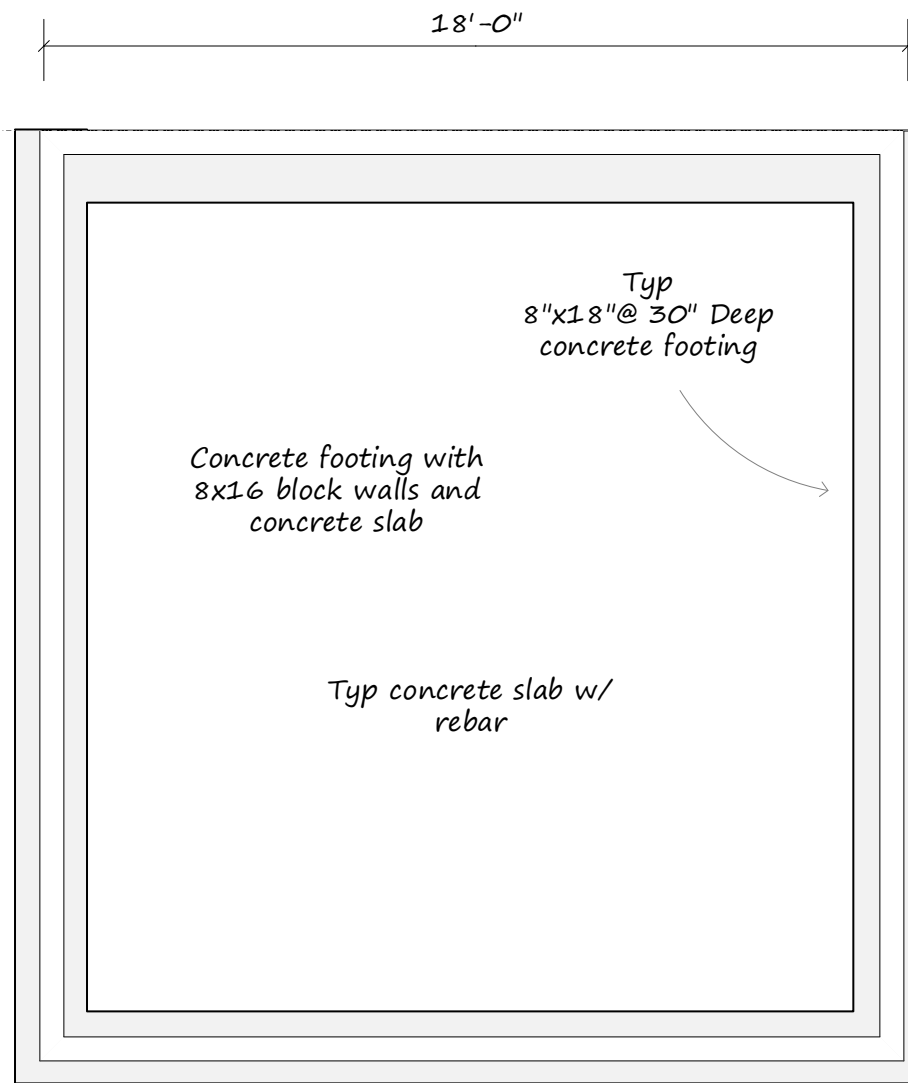
District of Columbia

CASE NO.19747

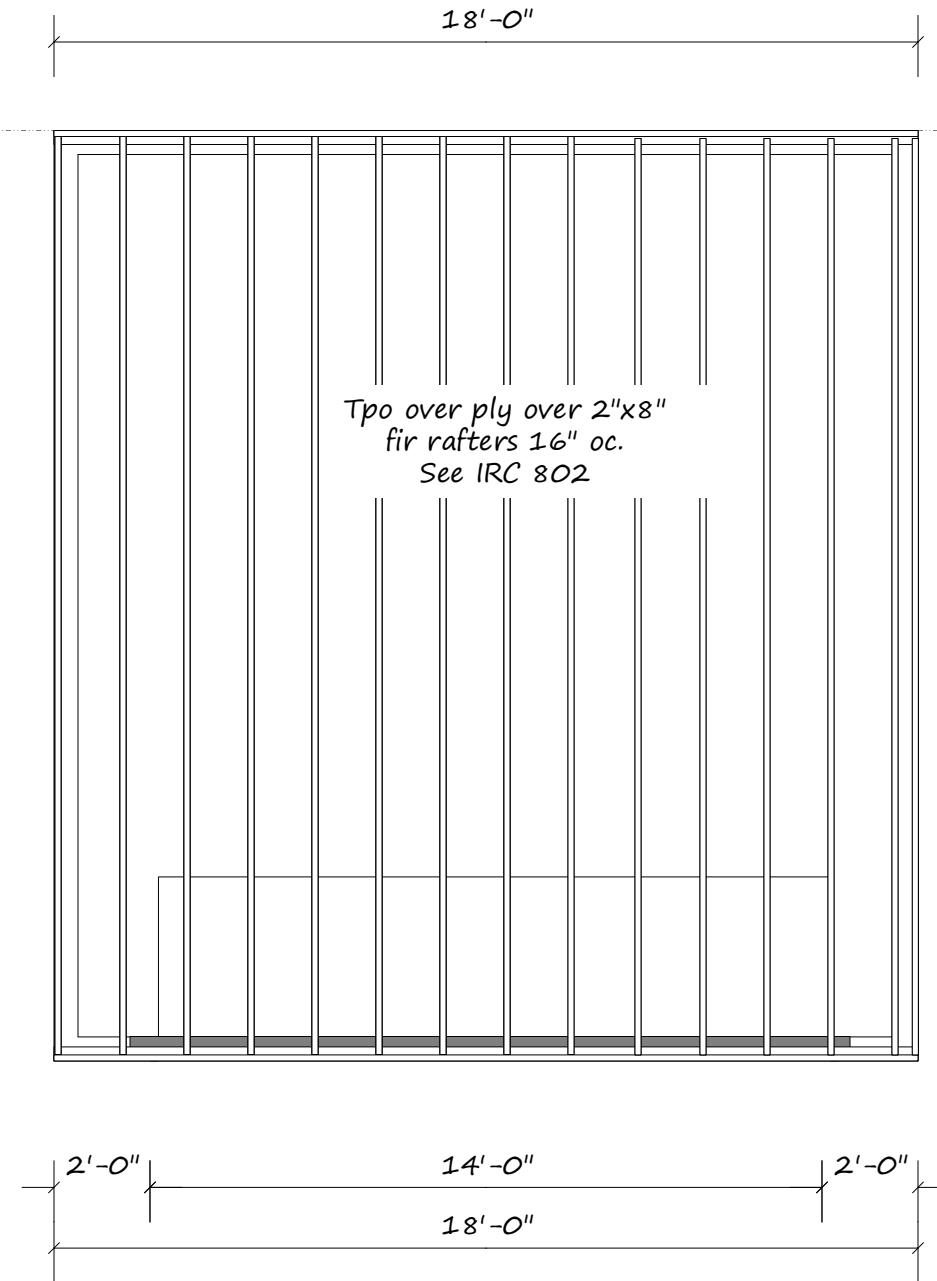
EXHIBIT NO.002

Scale 1/4"=1'

Footing slab and wall

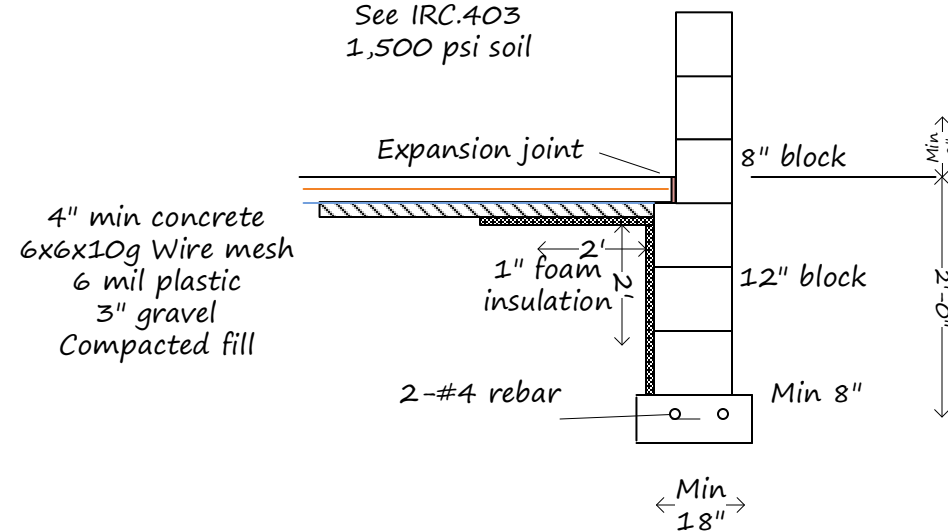


Roof Frame



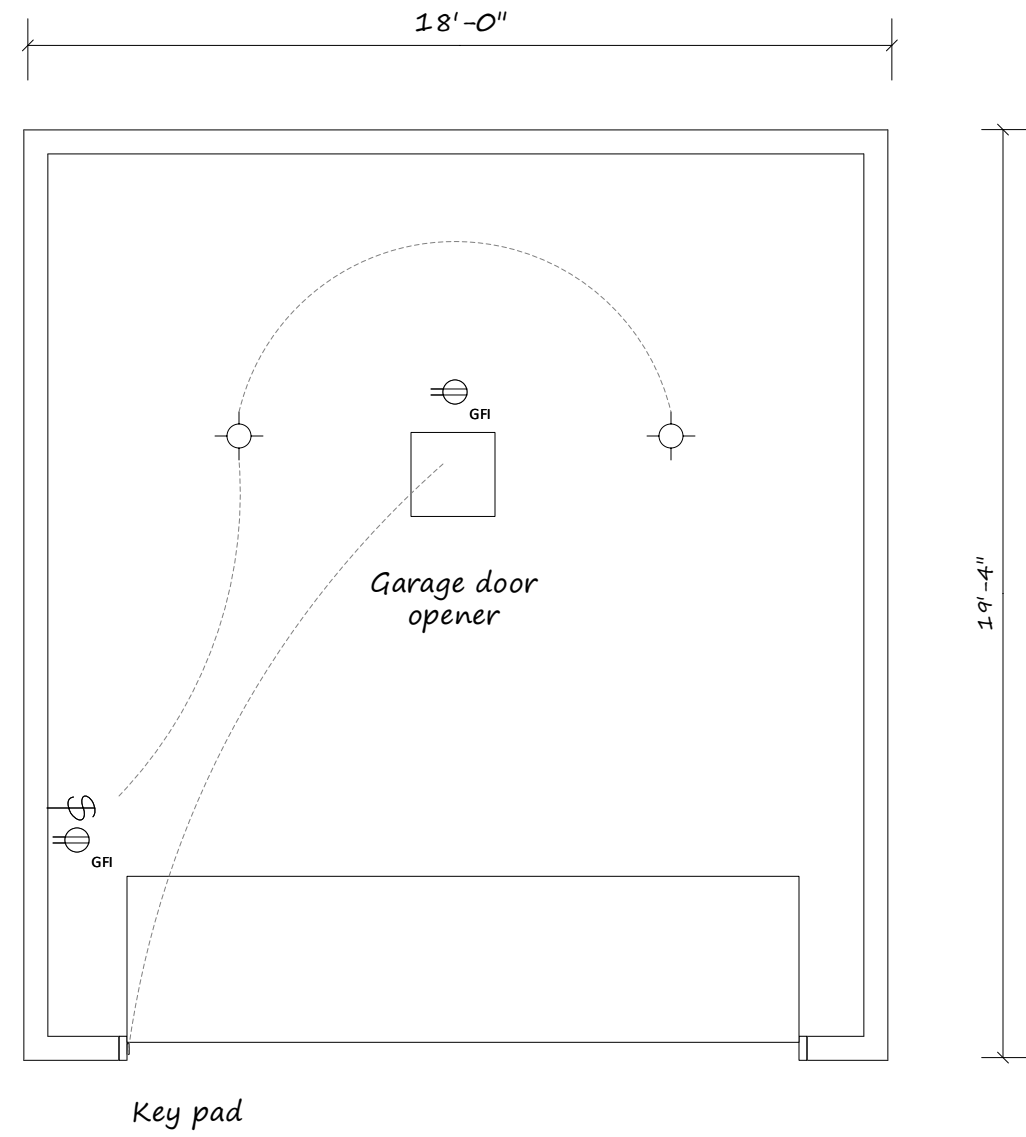
Typ. Slab detail

See IRC.403
1,500 psi soil

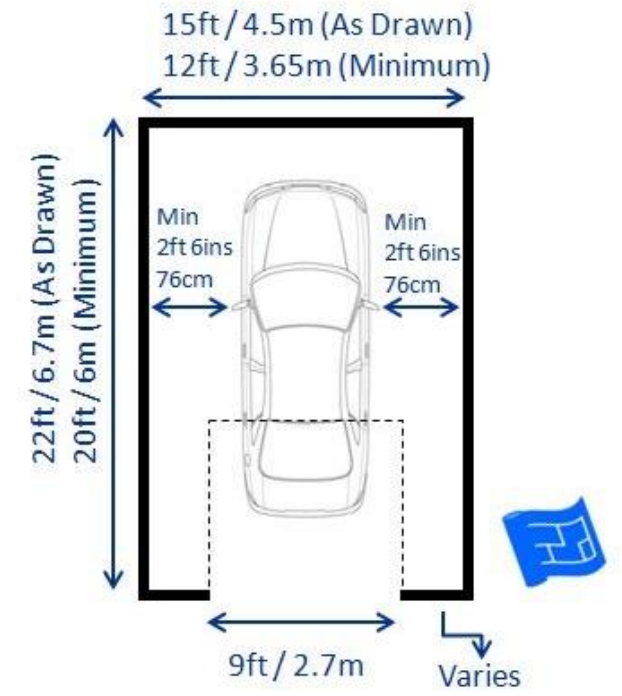
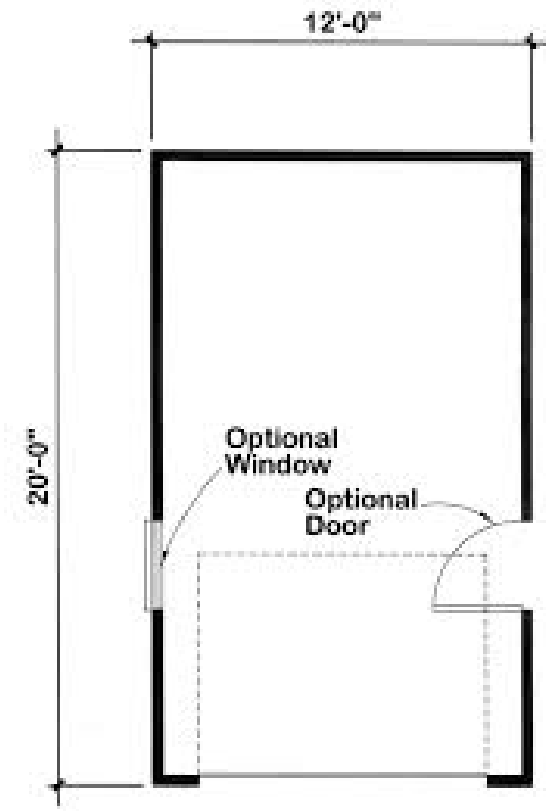
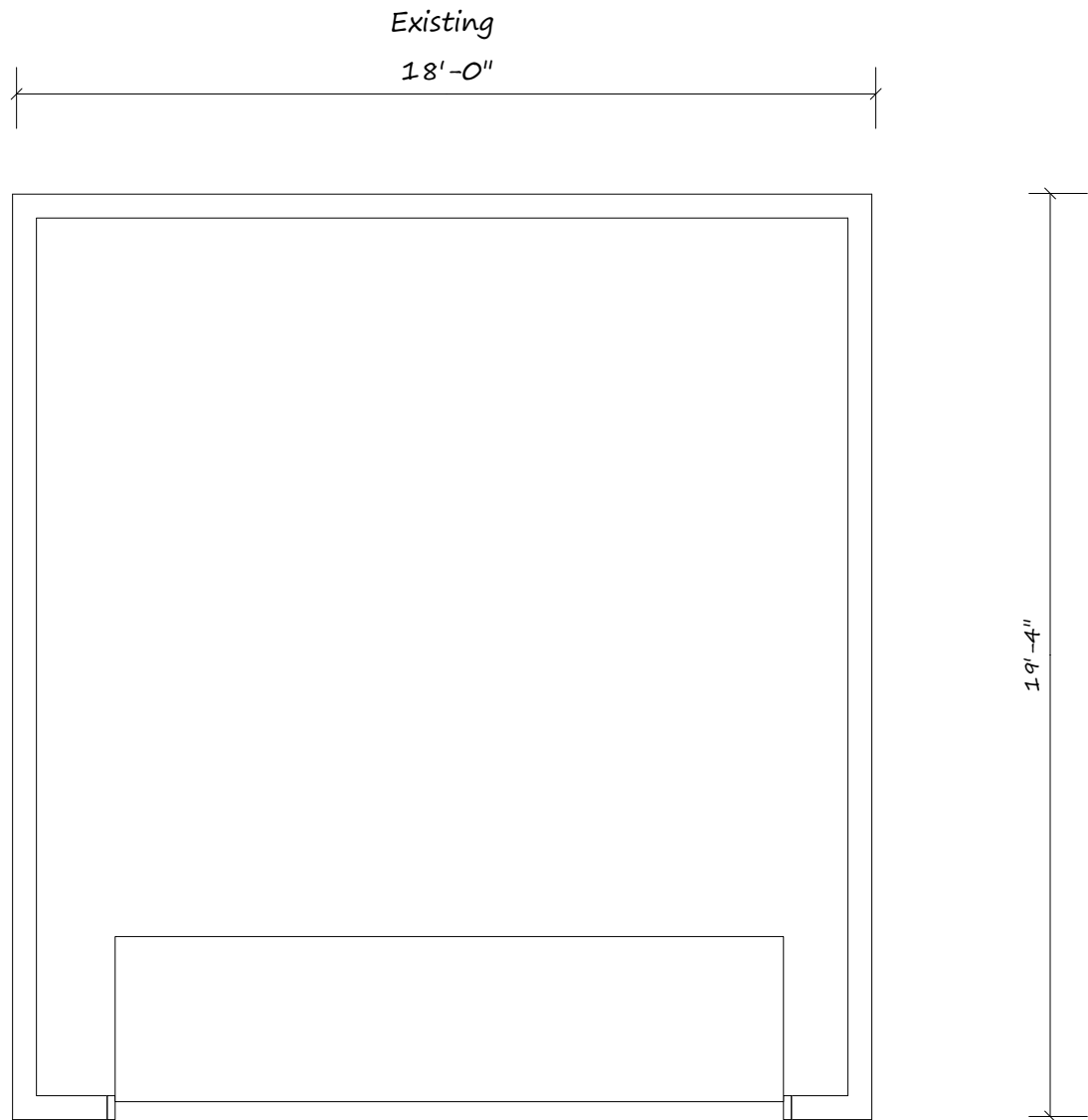


Rafters over span 14'2" max
Add rafters to side

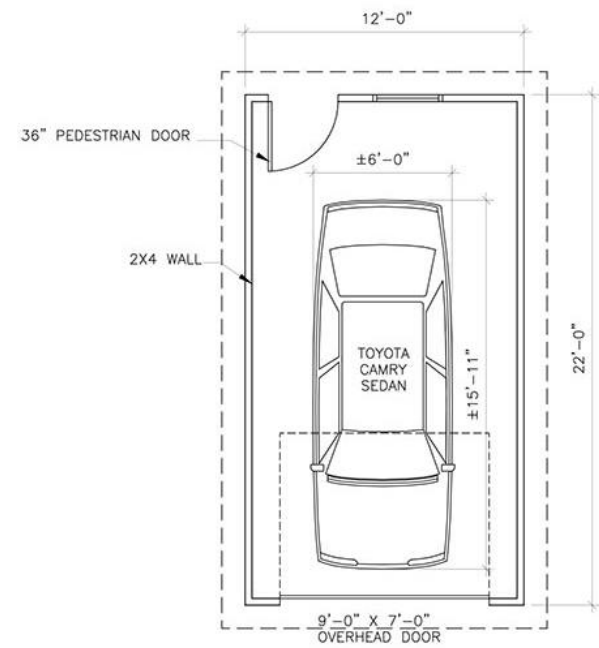
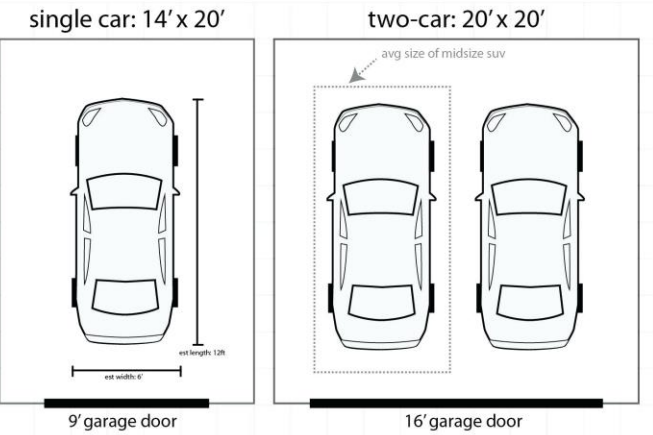
Footing slab and wall



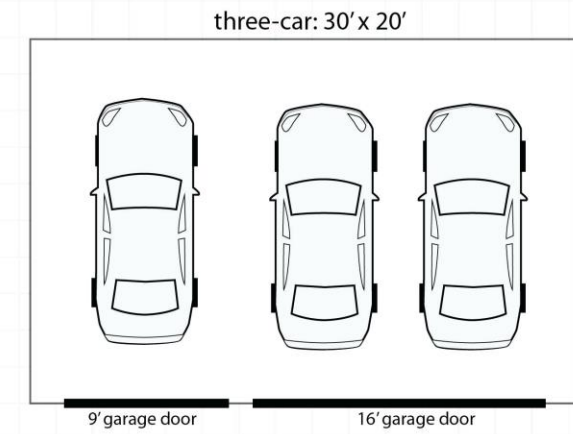
Existing 347 sq ft
 Needed 240 sq ft
 Allowed 163 sq ft



Garage Size Guidelines (pretty close to scale)
 lakecountryremodeling.com



FLOOR PLAN





Durrell Mack @ 202.442.4576. He may be able to update you with a status....

Project: Von Buskirk garage door header
Span 14' Tributary 9'6" Live load 30 lbs. sqft. Dead load 10 lbs. sqft.

Selection W 6x 12 36 ksi Wide Flange Steel Lateral Support: Lc = 4.2 ft max.

Conditions Actual Size is 4 x 6 in.
Min Bearing Length R1= 0.6 in. R2= 0.6 in. (1.0) DL Defl= 0.14 in Recom Camber= 0.22 in

Data Beam Span 14.0 Reaction 1 LL1995 # Reaction 2 LL1995 #
Beam Wt per ft 12.0 Reaction 1 TL2744 # Reaction 2 TL2744 #
Bm Wt Included 168 Maximum V 2744 #

Max Moment 9604 Max V (Reduced) N/A
TL Max Defl L / 240 LL Max Defl L / 360
TL Actual Defl L / 318 LL Actual Defl L / 438

Attributes Section (in³) Shear (in²) TL Defl (in) LL Defl
Actual 7.31 1.39 0.53 0.38
Critical 4.85 0.19 0.70 0.47
Status OK OK OK OK
Ratio 66% 14% 75% 82%

Fb (psi) Fv (psi) E (psi x mil) Fc (psi)
Values Ref. Value Fy 36000 36000 29.0
Adjusted Values 23760 14400 29.0
Adjustments YP Factor, Lc 0.66
Cd Duration
Cr Repetitive
Ch Shear Stress

Loads Uniform TL: 380 = A Uniform LL: 285



Department of Consumer and Regulatory Affairs

Permit Operations Division
1100 4th Street SW
Washington DC 20024

Tel. (202) 442 - 4589 Fax (202) 442 - 4862



Received: Plans Application
Date: 11/9/2017

Engineering Tyrone Thomas

Applicant/Agent: Deborah M Van Buskirk

Phone

Address of Project:

Job WT

Job No:

445 15TH ST SE

B1801650

Existing Use: Single Family Dwelling - R-3

Existing No. of Stories: 1

Proposed Use: Single Family Dwelling - R-3

Prop no of Stories: 1

Permit Type: Alteration and Repair

SSL: 1062 0803

Description of Work:

Retro permit needed for existing garage built by previous owner w/o permit. Permit needed for curb cut approval for existing driveway

Required Reviews: (Checked boxes only)	Reviewer:	Completion Time:	Review Status:		
<input type="checkbox"/> Fine Arts		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Historic		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Public Space/DDOT		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input checked="" type="checkbox"/> Zoning		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Soil Erosion/Stormwater DOEE		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Soil Boring/UST DOEE		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> DC Water:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Mechanical:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Plumbing:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Health/DOH:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Electrical:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Elevator:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Energy Review:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> DC Fire Dept. / Fire Prevention:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Fire Protection:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input checked="" type="checkbox"/> Structural:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Green Review:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant
<input type="checkbox"/> Chinatown Review:		<input type="checkbox"/> AM <input type="checkbox"/> PM	<input type="checkbox"/> Approved	<input type="checkbox"/> HFC	<input type="checkbox"/> Conf. w/Applicant

New/ Addl Cost	Alt/Rpr Cost	Total Cost	Volume of New Bldg, or Addl Cubic ft.
\$0.00	\$1.00	\$0.00	288

Alter/Repair FEE	New Const. FEE	Filing FEE	Enhancement FEE	Green FEE:	Total Permit FEE

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., November 6, 2017

Building Permit of SQUARE 1062 LOTS 803 - 804
Scale: 1 inch = 10 feet Recorded in Book A & T Page 3320 - N

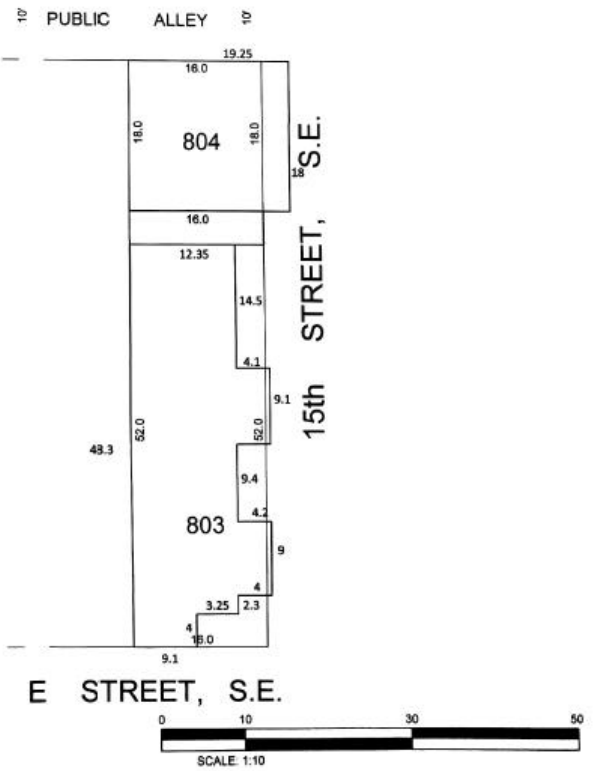
to: BRYCE BLAIR

Surveyor, D.C.
A.S. *[Signature]*

I hereby certify that all existing improvements shown thereon, are completely dimensioned, and are correctly plotted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and plotted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon, the size of any adjoining Lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified that all Lot divisions or combinations pending at the Office of Tax & Revenue are correctly depicted, and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and private restricted property.) Owner/Agent shall indemnify, defend, and hold the District, its officers, employees and agents harmless from and against any and all attorneys' fees and court costs) arising out of death or injury to any person or damage to any property occurring on or adjacent to the Property and directly or indirectly caused by any acts done, omission or any acts or omissions of Owner/Agent, provided however, that the foregoing indemnity shall not apply to any losses, costs, claims, damages, liabilities and causes of action due solely to the gross negligence or willful misconduct of District or its officers, employees or agents. It is the policy of the Office of the Zoning Administrator that a Building Plat is valid for six (6) months from the date of issuance.

Date: 11/8/2017
(Signature of owner or authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.



DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., November 6, 2017

Plat for Building Permit of SQUARE 1062 LOTS 803 - 804

Scale: 1 inch = 10 feet Recorded in Book A & T Page 3320 - N

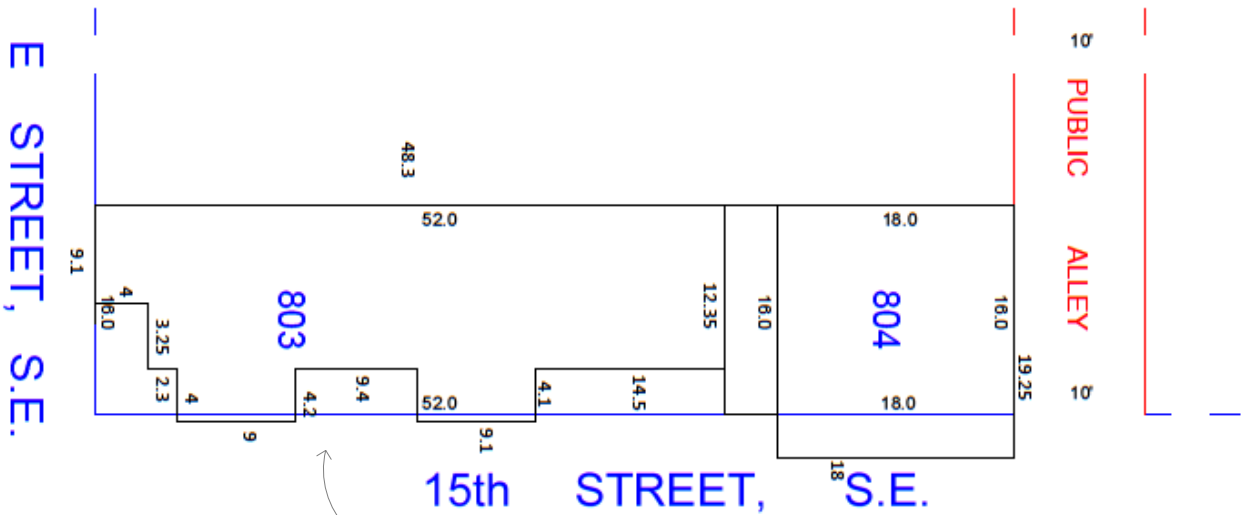
Receipt No. 18-00780

Furnished to: BRYCE BLAIR

Surveyor, D.C.
By: A.S.

Date: _____

(Signature of owner or authorized agent)
NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

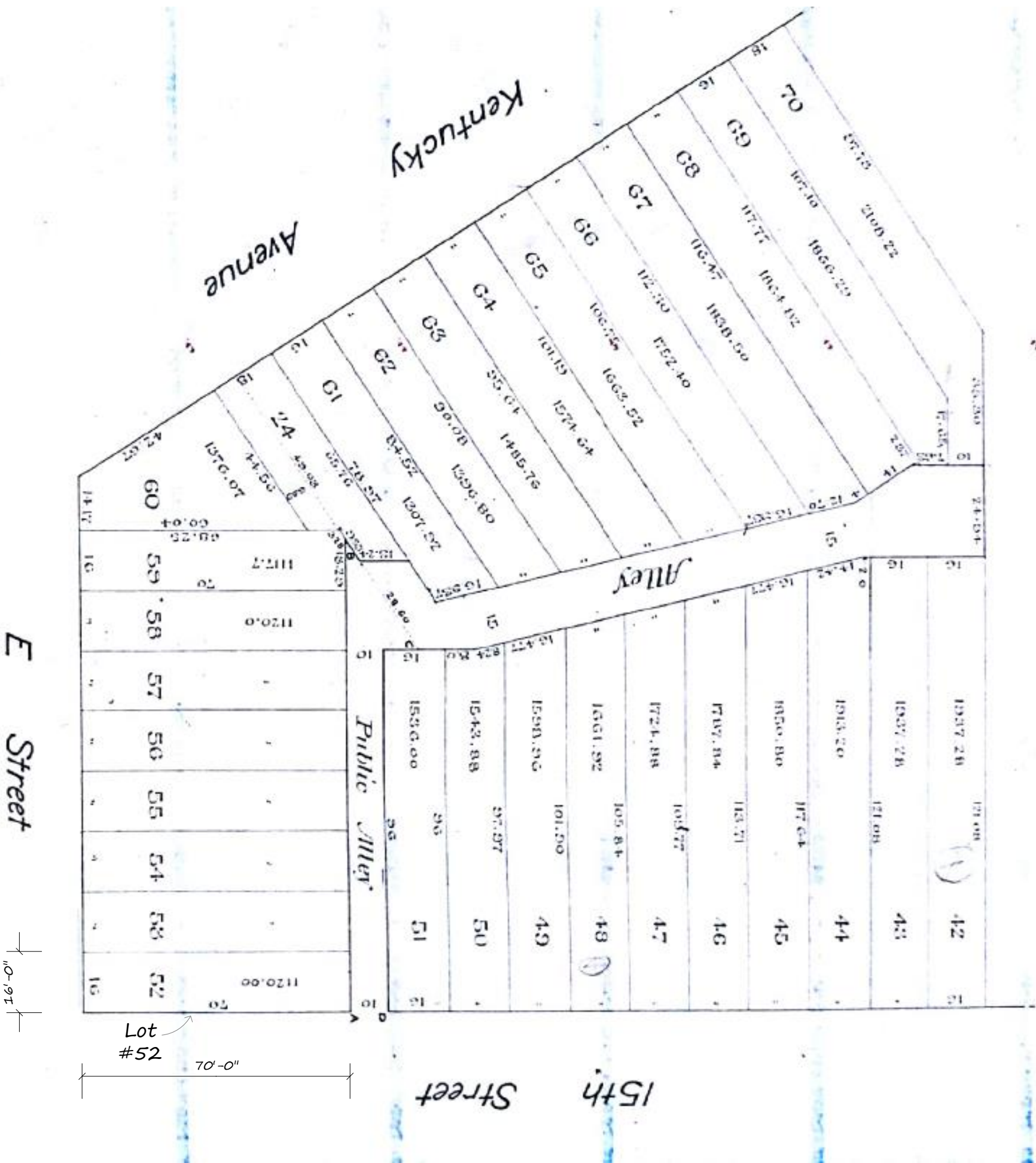


Outside of blue line is public space

1062

85

Scale
1"=40'



(of subdivision by East Washington Investment Co, recorded in Book 16, Page 75)
 I hereby subdivide lots 15 to 41, both inclusive, and alley closed, except lot 24, the whole into
 lots 42 to 70, both inclusive, and public alley, as shown above.

Washington D.C. 9.35 A.M. May 21st, 1901

(signed) Thomas E. Bond

(signed) John Hubner, Pres.
 Central Real Estate and Trust Co. of Md.

(signed) A. M. Gorman

Formerly The Old Line Real Estate and Trust Co.
 Central Real Estate and Trust Company of Md.

I certify that the foregoing plat is correct and agrees with the records of this office.

Witness my hand and seal this 21st day of May, 1901.

Henry A. Lister



Surveyor, District of Columbia.